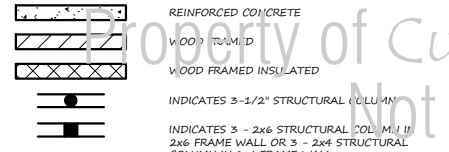


**GENERAL NOTES:**



- "PROVIDE" MEANS "FURNISH AND INSTALL". "INSTALL" UNLESS OTHERWISE NOTED MEANS "FURNISH AND INSTALL".
- EXTERIOR BASEMENT WALLS SHALL BE 8" THICK, USE CONCRETE FOUNDATION FORMS W/ SMOOTH SIDE OUT. (NO BRICK PATTERN).
- PROVIDE A 4" CONC. SLAB WITH 6x6 2.9x2.9 WOVEN WIRE MESH OVER 6 MIL. VAPOR BARRIER & 4" COMPACTED GRANULAR FILL THROUGHOUT BASEMENT, TYP.
- PROVIDE COMPACTED GRANULAR FILL AND DRAIN CONNECTED TO PERIMETER FORM-A-DRAIN IN WINDOW WELLS, TYP.
- ALL EXPOSED CONCRETE SHALL BE THE SAME RECIPE TO MAINTAIN CONSISTENT COLOR. PROVIDE RECIPE TO OWNER FOR FUTURE POURS AND COLOR MATCHING.
- EXTERIOR WALLS SHALL BE 2x6 WOOD STUDS WITH 5-1/2" BATT INSULATION, 1/2" OSB SHEATHING, AND "TYVEK" BUILDING WRAP, TYP.
- ALL INTERIOR WALL FRAMING TO BE 2x4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE PROVIDE LIGHT ORANGE PEEL FINISH, TYP.
- ALL INTERIOR FOUNDATION WALLS IN FINISHED AREAS SHALL HAVE 2x4 STUD, 4 MIL. VAPOR BARRIER, AND 5/8" GYP. BD. WITH LIGHT ORANGE PEEL FINISH, TYP.
- 3-2x12 HEADERS AT ALL EXTERIOR STRUCTURAL OPENINGS UNLESS NOTED OTHERWISE. ALL HEADER LUMBER SHALL BE CLEAR OF SPLITS AND CHECKS TO ATTAIN THE DESIGN VALUES USED IN DETERMINING ALLOWABLE HORIZONTAL SHEAR.
- 2-2x12 HEADERS AT ALL INTERIOR STRUCTURAL OPENINGS UNLESS NOTED OTHERWISE. ALL HEADER LUMBER SHALL BE CLEAR OF SPLITS AND CHECKS TO ATTAIN THE DESIGN VALUES USED IN DETERMINING ALLOWABLE HORIZONTAL SHEAR.
- FLOOR SYSTEM SHALL BE 3/4" T&G PLYWOOD SHEATHING SCREWED AND GLUED TO TOP OF FLOOR JOISTS BY MANUFACTURER, TYP.
- ALL BEAMS SHALL BE SIZED BY OTHERS UNLESS OTHERWISE NOTED, TYP.
- ALL FLOOR FRAMING SHALL BE DESIGNED FOR MINIMAL DEFLECTION TO REDUCE BOUNCING, TYP.
- VERIFY ALL ROUGH OPENINGS FOR WINDOWS AND DOORS.
- ALL WINDOWS SHALL BE BY MARVIN WINDOWS, OR AN APPROVED WINDOW BY OWNER. WINDOWS SHALL BE INSULATED, LOW-E, CLAD WITH WOOD FINISHES INSIDE. PROVIDE CUT SHEETS, TYP. VERIFY OPENING SIZES WITH MANUFACTURER.
- ROOF TRUSS PLACEMENT BY ARCHITECT IS GENERAL. TRUSS MANUFACTURER SHALL ENGINEER AND LOCATE TRUSS ACCORDINGLY. VERIFY WITH ARCHITECT AS NEEDED.
- ROOF SYSTEM SHALL BE 5/8" CDX MIN. SHEATHING NAILED TO ROOF FRAMING, 30# FELT PAPER AND 35 YEAR 'OKARIDGE' OR EQUAL ASPHALT SHINGLE.
- PROVIDE GRACE ICE SHIELD (OR EQUAL) AT ALL VALLEYS AND ALL OVERHANGS, TYP.
- PROVIDE R-48 INSULATION AT CEILING / ATTIC SPACE WITH INSULATION Baffles, TYP.
- PROVIDE RIDGE VENT AT PEAKS THROUGHOUT, TYP.
- PROVIDE VENTED ALUMINUM SOFFIT, COLOR PER OWNER, TYP.
- PAINT ALL ROOF VENT STACKS TO MATCH SHINGLES.
- ALL DOORS UNLESS NOTED/DIMENSIONED ARE TO BE 5" OFF WALL ON HINGE SIDE, TYP.
- TJI / FLOOR JOISTS: DOUBLE UP ON SUPPORT FOR RUN IN MASTER SUITE.
- BASEMENT BEDROOMS & BATHROOM ARE FUTURE EXPANSIONS.

- 4 MIL VAPOR BARRIERS ARE TO BE USED ON THE INTERIOR SIDE OF NON-FACE INSULATION. JOINTS ARE TO BE OVERLAPPED 6" AND TAPED. ALL PUNCTURES SHALL BE TAPED WITH THE ARCHITECT'S APPROVAL. THE CONTRACTOR CAN USE FACED INSULATION, FASTENED TO THE FACE OF THE STUDS WITH ALL PUNCTURE TAPE.
- WOOD FRAMING ON CONCRETE WALLS SHALL BE WOLM LUMBER, HAVE AT LEAST 3" AIR GAP, OR HAVE 15 LBS. TAR PAPER MECHANICALLY FASTENED ALONG THE FULL CONTACT POINT BETWEEN WOOD AND MASONRY.
- TYPICAL STAIRS SHALL BE WOOD FRAMED WITH 14 RISERS @ MAX. 7-3/4" EA. = 9'-0". 13 TREADS @ MIN. 10" EA.
- PROVIDE SOUND INSULATION AROUND PERIMETER OF: LAUNDRY ROOM, BEDROOMS, MECHANICAL ROOM & BATHROOMS, TYP.
- PROVIDE 5/8" GYP. BD. AT CEILINGS (MOISTURE RESISTANT AS NEEDED) UNLESS OTHERWISE NOTED WITH LIGHT KNOCKDOWN FINISH, PRIMED AND PAINTED, TYP.
- FIREPLACE SHALL BE HEATILATOR G270 GAS UP-VENT W/ ADJUSTABLE FLAMES & CABINET STYLE GLASS DOORS. VENT TO THE VERTICAL CHASE. PROVIDE A VESTAL SMOKE DAMPER AND CAST IRON ROTARY CONTROLS. OWNER SHALL CHOOSE ACTUAL UNIT.
- CONTRACTOR TO PROVIDE ALL NEEDED BLOCKING IN WALL FOR: MIRROR, MIRRORS, TOWEL HOLDER, AND SHELVING, TYP.
- MIRROR/MEDICINE CABINET PER OWNER FOR ALL BATHROOMS.
- PROVIDE WOOD BASEBOARD & CASEMENT TRIM PER OWNER'S CHOICE, TYP.
- CONCRETE PATIO SHALL BE MIN. 4" THICK WITH #4 BARS EACH WAY 12" O.C. CONTROL JOINTS AT 10'-0" O.C., TYP.
- SLOPE GRADE AWAY FROM HOUSE, TYP.
- PROVIDE BURIED SEPTIC TANK SYSTEM PER CODE SIZE AND OWNERS LOCATION IF NEEDED.
- ADDITIONAL 1 WILL BE PROVIDED IF AN INCREASE OCCURS AND CREDIT WILL BE TAKEN IF AN DECREASE OCCURS, TYP.
- PROVIDE ALLOWANCE OF \$1.84 PER S.F. (NOT INCLUDING INSTALLATION) FOR SHEET VINYL, TYP.
- PROVIDE ALLOWANCE OF \$4.00 FOR SPECIALTY LIGHTING. SPECIALTY LIGHTING CONSISTS OF CEILING FANS, PENDANTS, WALL MOUNTED FIXTURES, AND TRACK LIGHTING CHOSEN BY OWNER.
- PROVIDE ALLOWANCE OF \$5.39 PER S.F. (NOT INCLUDING INSTALLATION) FOR ENGINEERED WOOD FLOOR, TYP.
- PROVIDE ALLOWANCE OF \$2.59 PER S.F. (NOT INCLUDING INSTALLATION) CERAMIC TILES, TYP.
- PROVIDE ALLOWANCE OF \$3.99 PER S.F. (NOT INCLUDING INSTALLATION) PORCELAIN TILES, TYP.
- PROVIDE ALLOWANCE OF \$31.99 S.Y. (NOT INCLUDING INSTALLATION) FOR RESIDENTIAL CARPET & PAD.
- PROVIDE ALLOWANCE OF \$28.00 S.Y. (NOT INCLUDING INSTALLATION) FOR COMMERCIAL CARPET TILES.
- PROVIDE ALLOWANCE OF \$3.99. (NOT INCLUDING INSTALLATION) PER SQUARE FOOT LAMINATE FLOORING WITH CUSHION, TYP.
- PROVIDE ALLOWANCE OF \$9.49 S.Y. (NOT INCLUDING INSTALLATION) OUTDOOR CARPET, TYP.
- PROVIDE ALLOWANCE OF \$5.74 (NOT INCLUDING INSTALLATION) PER SQUARE YARD CARPET PAD, TYP. "IF NOT PROVIDED WITH CARPET"
- OWNER SHALL BE RESPONSIBLE FOR PROVIDING ALL KITCHEN AND BATHROOM CABINETS AND COUNTERTOPS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CABINETS AND COUNTERTOPS.
- MAXIMIZE CEILING HEIGHTS IN BASEMENT.
- CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR VINYL WINDOWS INSTEAD OF CLAD.
- PROVIDE GAS STOVE TOP & ELECTRICAL DOUBLE OVEN IN KITCHEN. ALL OTHER APPLIANCES SHALL BE ELECTRIC. WASHER, DRYER, ECT.
- ALL PENETRATIONS FOR PIPES & WIRES MUST BE CAULKED.
- DECK SHALL BE COMPOSITE DECKING, TYP.
- CONTRACTOR SHALL OVER-EXCAVATE 2'-0" & FILL W/ 2'-0" OF COMPACTED GRANULAR FILL IN 6' LIFTS.
- ALL BASEMENT EGRESS WINDOWS SHALL BE 44" MAX FROM FINISHED FLOOR TO GLAZING W/ A NET CLEAR OPENING OF 5.3 S.F.
- FRAME IN ONLY FURNACE ROOM AT TIME OF CONSTRUCTION.

**CONSTRUCTION OBSERVATION CLAUSE:**

RODNEY L. CURTIS CURRENTLY OF CURTIS ARCHITECTURE & DESIGN P.C. IS THE ARCHITECT OF RECORD. IN THE EVENT THAT CURTIS ARCHITECTURE & DESIGN P.C. IS NOT INVOLVED IN THE JOB OBSERVATION PHASE OF THIS PROJECT, AND A CHANGE OR ALTERATION FROM THESE DRAWINGS OCCURS DURING CONSTRUCTION, THE OWNER AND CONTRACTOR(S) AGREE TO HOLD HARMLESS AND INDEMNIFY THE ARCHITECT AND CURTIS ARCHITECTURE & DESIGN P.C. FROM ANY AND ALL CLAIMS, INCLUDING ATTORNEY FEES, ARISING OUT OF OR RESULTING FROM SUCH CHANGES. BY STARTING CONSTRUCTION, OWNER AND CONTRACTOR(S) AGREE TO THIS CONDITION.

**SUPPLEMENTARY NOTES:**

VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO STARTING WORK. VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH APPROPRIATE TRADES. PROVIDE ALL NECESSARY BRACING, SHORING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE STAMP OF AN ENGINEER REGISTERED IN THE STATE OF IOWA. DETAILS ON THE DRAWINGS ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE DESIGN DRAWINGS. NO MATERIAL SUBSTITUTIONS OR DESIGN CHANGES SHALL BE MADE TO THESE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN PERMISSION OF THE OWNER.

**SITE DESCRIPTION:**

**PROPERTY OWNER:** JOHN SMITH  
**BUILDING AREA:** MAIN LEVEL= 1,800 S.F. LOWER LEVEL= 1,800 S.F. TOTAL= 3,600 S.F.  
**PLANNED USE:** RESIDENTIAL SAMPLE

**HVAC NOTES:**

- HEATING CONTRACTOR TO PROVIDE HONEYWELL FOCUSPRO 6000 THERMOSTAT.
- HEATING CONTRACTOR SHALL PROVIDE CENTRAL AIR SYSTEM THROUGHOUT. SINGLE ZONE FOR ENTIRE HOUSE, TYP.
- HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL DESIGN AND CODE COMPLIANCE.
- HVAC CONTRACTOR SHALL PROVIDE AND INSTALL RIGID PIPING FROM THE BATH FANS AND KITCHEN VENT HOOD TO THE EXTERIOR.
- HEATING CONTRACTOR SHALL PROVIDE A 96% MIN. EFFICIENT FURNACE AND A 16 SEER CENTRAL AIR UNIT SIZED TO THE WHOLE HOUSE, TYP.
- VERIFY COMPRESSOR LOCATIONS WITH OWNER.
- VENT LOCATION SHOWN BY ARCH. IS GENERAL. HVAC CONTRACTOR RESPONSIBLE FOR FINAL LOCATION.
- HVAC CONTRACTOR SHALL CHANGE ALL FILTERS BI-WEEKLY AND AT FINAL COMPLETION.

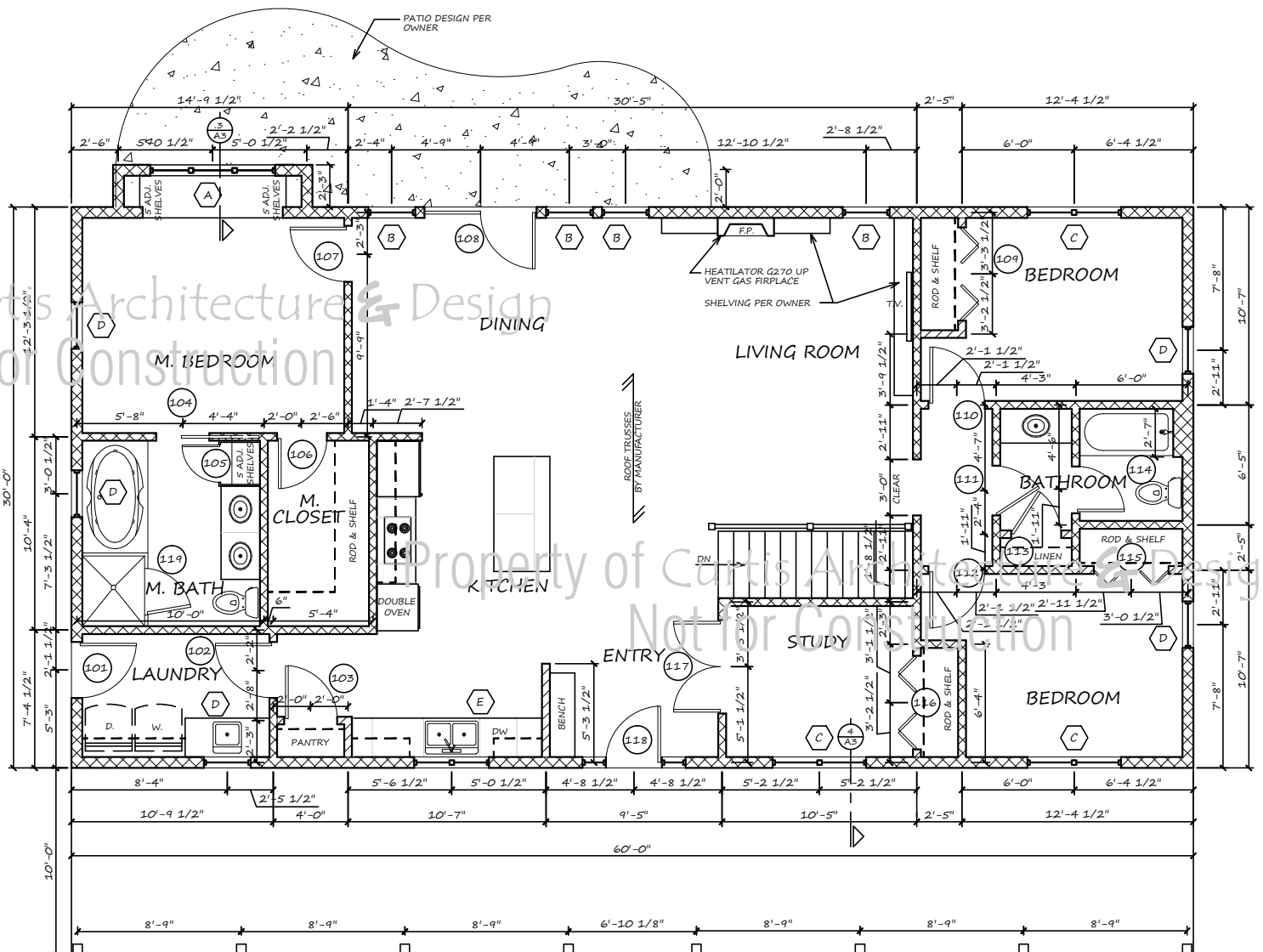
**PLUMBING NOTES:**

- PLUMBING CONTRACTOR SHALL PROVIDE KOHLER OR EQUAL WATER CLOSETS (WHITE) AND FIXTURES, TYP., VERIFY WITH OWNER.
- PROVIDE A MEDIUM RANGE GARBAGE DISPOSAL IN KITCHEN.
- PROVIDE WATER SUPPLY LINE TO REFRIGERATOR LOCATION.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL DESIGN AND CODE COMPLIANCE.
- PLUMBING CONTRACTOR SHALL PROVIDE ONE 50 GAL. ELECTRIC HOT WATER HEATER.
- PROVIDE ONE NEW WATER MAIN & METER FOR HOUSE.
- PLUMBING CONTRACTOR SHALL INSTALL ALL DISHWASHERS & PROVIDE ALL NEEDED LINES, DISHWASHER PROVIDED BY CONTRACTOR.
- PLUMBING CONTRACTOR TO DETERMINE PLUMBING STACK VENTILATION THRU ROOF.
- PLUMBING CONTRACTOR SHALL INSTALL TUBS/SHOWER UNITS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- PLUMBING CONTRACTOR SHALL PROVIDE SUMP PUMP, PTT & PLUMBING TO EXTERIOR. VERIFY DRAINAGE LOCATION W/ OWNER.
- PLUMBING CONTRACTOR SHALL STUB IN FUTURE BATHROOM IN BASEMENT.

**INDEX OF DRAWINGS:**

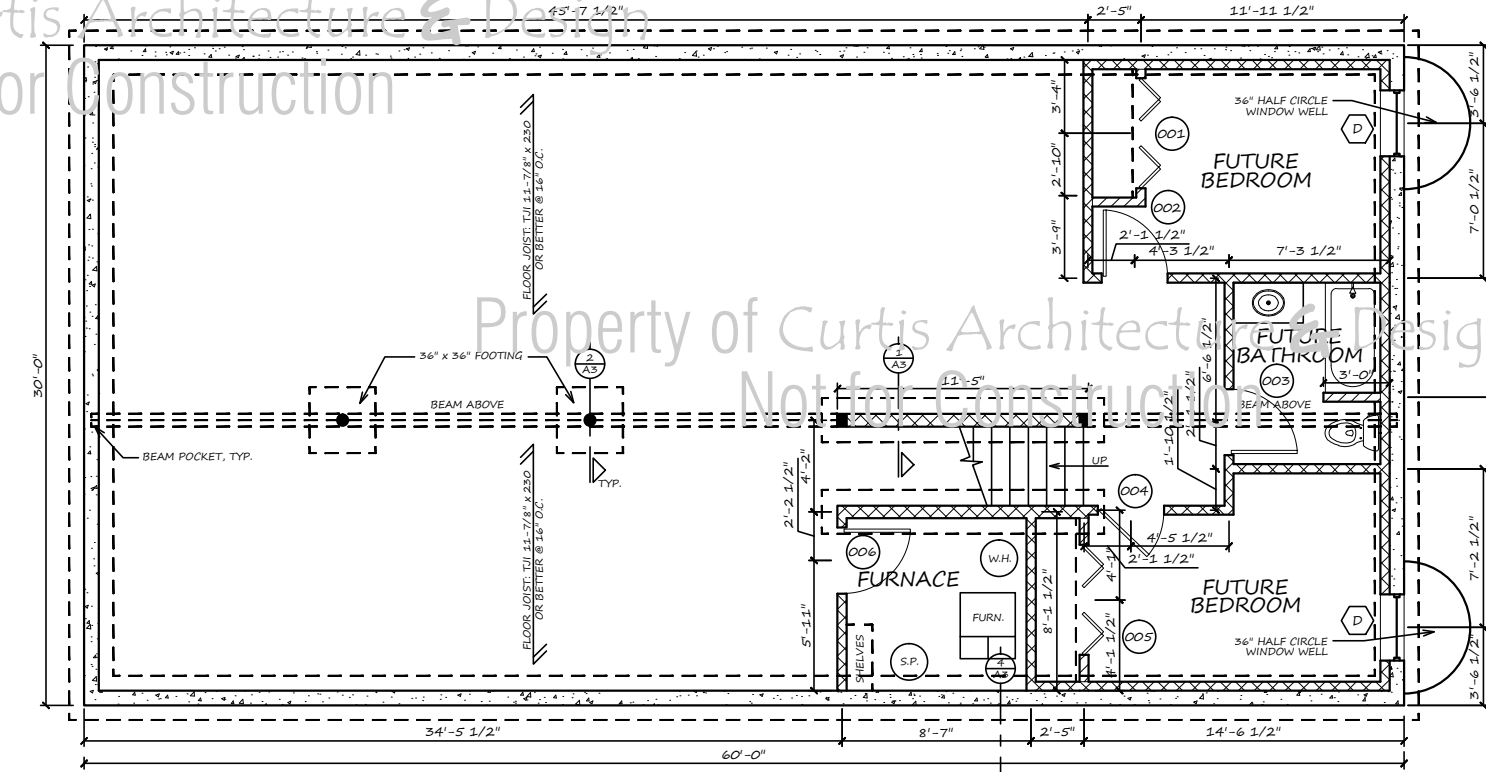
**ARCHITECTURAL DRAWINGS:**

A1	FLOOR PLANS/GENERAL NOTES
A2	EXTERIOR ELEVATIONS
A3	EXTERIOR ELEVATION DETAILS
A4	REFL. CEILING PLAN/ELECTRICAL NOTES
A5	POWER PLAN/ELECTRICAL NOTES



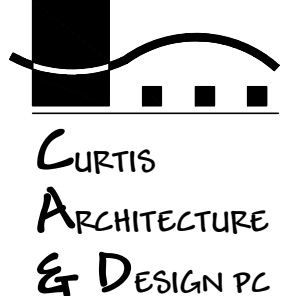
**MAIN LEVEL FLOOR PLAN**

1/4" = 1'-0"



**LOWER LEVEL FLOOR PLAN**

1/4" = 1'-0"



RESIDENTIAL DIVISION

**BASIC SAMPLE**

SAMPLE, IOWA

**FLOOR PLAN :**  
 1/4" = 1'-0"  
**JOB NUMBER :**  
 0000  
**DATE :**  
 000.00.0000  
**REVISIONS :**  
 PDF



**CURTIS  
ARCHITECTURE  
& DESIGN PC**

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DIVISION

**BASIC SAMPLE**  
SAMPLE, IOWA

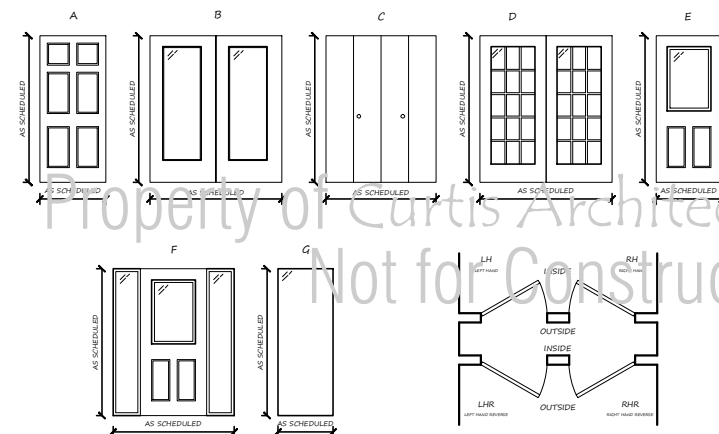
EXT. ELEV./  
SCHEDULES :  
1/4" = 1'-0"  
JOB NUMBER :  
0000  
DATE :  
000.00.0000  
REVISIONS :  
PDF

223 E. MAIN STREET  
OTTUMWA, IA 52501  
641 814-1500  
CURTISARCHITECTURE.COM

SHEET #  
**A2**

OPENING SCHEDULE											
MARK	DOOR						HARDWARE		REMARKS		
	SIZE	SWG.	MTL.	TYPE	FINISH	HINGES	LOCK SET	KNOB / HANDLE			
BASEMENT LEVEL											
001	5'-0" x 6'-8" x ± 3/8"	-	WOOD	C	STAIN		PASSAGE	KNOB	BI-FOLD DOOR, 1		
002	3'-0" x 6'-8" x ± 3/8"	RHR	WOOD	A	STAIN		PRIVACY	LEVER	1		
003	3'-0" x 6'-8" x ± 3/8"	RH	WOOD	A	STAIN		PRIVACY	LEVER	1		
004	3'-0" x 6'-8" x ± 3/8"	RH	WOOD	A	STAIN		PRIVACY	LEVER	1		
005	5'-0" x 6'-8" x ± 3/8"	--	WOOD	C	STAIN		PASSAGE	KNOB	BI-FOLD DOOR, 1		
006	3'-0" x 6'-8" x ± 3/8"	RHR	WOOD	A	STAIN		PASSAGE	LEVER			
MAIN LEVEL											
101	3'-0" x 6'-8" x ± 3/8"	LH	STEEL	E	PAINT		ENTRY	LEVER			
102	3'-0" x 6'-8" x ± 3/8"	LHR	WOOD	A	STAIN		PASSAGE	LEVER			
103	3'-0" x 6'-8" x ± 3/8"	RHR	WOOD	A	STAIN		PASSAGE	LEVER			
104	2'-10" x 6'-8" x ± 3/8"	--	WOOD	A	STAIN		PRIVACY	LEVER	POCKET DOOR		
105	2'-0" x 6'-8" x ± 3/8"	LHR	WOOD	A	STAIN		PASSAGE	KNOB			
106	2'-8" x 6'-8" x ± 3/8"	RH	WOOD	A	STAIN		PASSAGE	LEVER			
107	3'-0" x 6'-8" x ± 3/8"	RH	WOOD	A	STAIN		PRIVACY	LEVER			
108	6'-0" x 6'-8" x ± 3/8"	LH	STEEL	B	PAINT		ENTRY	LEVER	PATIO DOOR		
109	5'-0" x 6'-8" x ± 3/8"	--	WOOD	C	STAIN		PASSAGE	KNOB	BI-FOLD DOOR		
110	3'-0" x 6'-8" x ± 3/8"	LH	WOOD	A	STAIN		PRIVACY	LEVER			
111	2'-8" x 6'-8" x ± 3/8"	RH	WOOD	A	STAIN		PRIVACY	LEVER			
112	3'-0" x 6'-8" x ± 3/8"	RH	WOOD	A	STAIN		PRIVACY	LEVER			
113	2'-8" x 6'-8" x ± 3/8"	LH	WOOD	A	STAIN		PASSAGE	LEVER			
114	2'-6" x 6'-8" x ± 3/8"	RH	WOOD	A	STAIN		PRIVACY	LEVER			
115	4'-0" x 6'-8" x ± 3/8"	--	WOOD	C	STAIN		PASSAGE	KNOB	BI-FOLD DOOR		
116	5'-0" x 6'-8" x ± 3/8"	--	WOOD	C	STAIN		PASSAGE	KNOB	BI-FOLD DOOR		
117	5'-0" x 6'-8" x ± 3/8"	--	WOOD	D	STAIN		PASSAGE	LEVER	FRENCH DOOR		
118	5'-6" x 6'-8" x ± 3/8"	RH	STEEL	F	PAINT		ENTRY	LEVER			
119	2'-6" x 6'-8" x ± 3/8"	LHR	GLASS	G	--		PASSAGE	KNOB	SHOWER DOOR		

**DOOR SCHEDULE**



**HARDWARE NOTES**

- ENTRY - KEVED ENTRY W/ DEADBOLT
- PRIVACY LOCK (PRIVACY/BED/BATH)
- PASSAGE - NO LOCKS (PASSAGE/HALL/CLOSET)
- DOOR KNOBS TO BE \_ W/ LEVER/KNOB STYLE
- ALL LOCKS TO BE VERIFIED BY OWNER.

**DOOR NOTES**

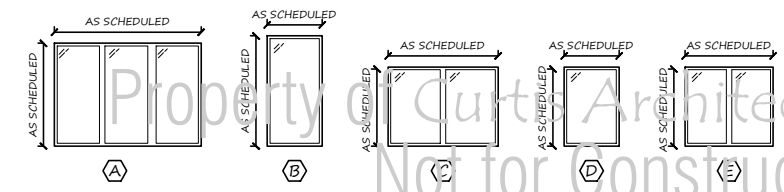
- DOOR #s ON FLOOR PLAN SHEET TAKE PRECEDENCE OVER ALL OTHER PLAN.
- VERIFY BEFORE ORDERING
- ALL WOOD DOORS TO BE
- ALL INTERIOR DOORS TO BE CORE, FINISH FRAME, & FINISH
- VERIFY W/ OWNER FOR DOOR TYPE, CORE, FRAME, & FINISH
- VERIFY SLIDER DIRECTION W/ OWNER.

**REMARKS**

- DOORS FOR FUTURE BUILD OUT

WINDOW SCHEDULE					
MARK	UNIT SIZE (W x H)	STYLE	MATERIAL	UNIT MODEL	REMARKS
A	6'-8" x 4'-8"	CASEMENT	ALUM. CLAD		1
B	2'-6" x 4'-11 1/8"	CASEMENT	ALUM. CLAD	CUCA3060E	1
C	5'-0" x 3'-7 1/8"	CASEMENT	ALUM. CLAD	CUCA3044E	1
D	2'-6" x 3'-7 1/8"	CASEMENT	ALUM. CLAD	CUCA3044E	1
E	4'-0" x 3'-7 1/8"	CASEMENT	ALUM. CLAD	CUCA2444	1

**WINDOW SCHEDULE**

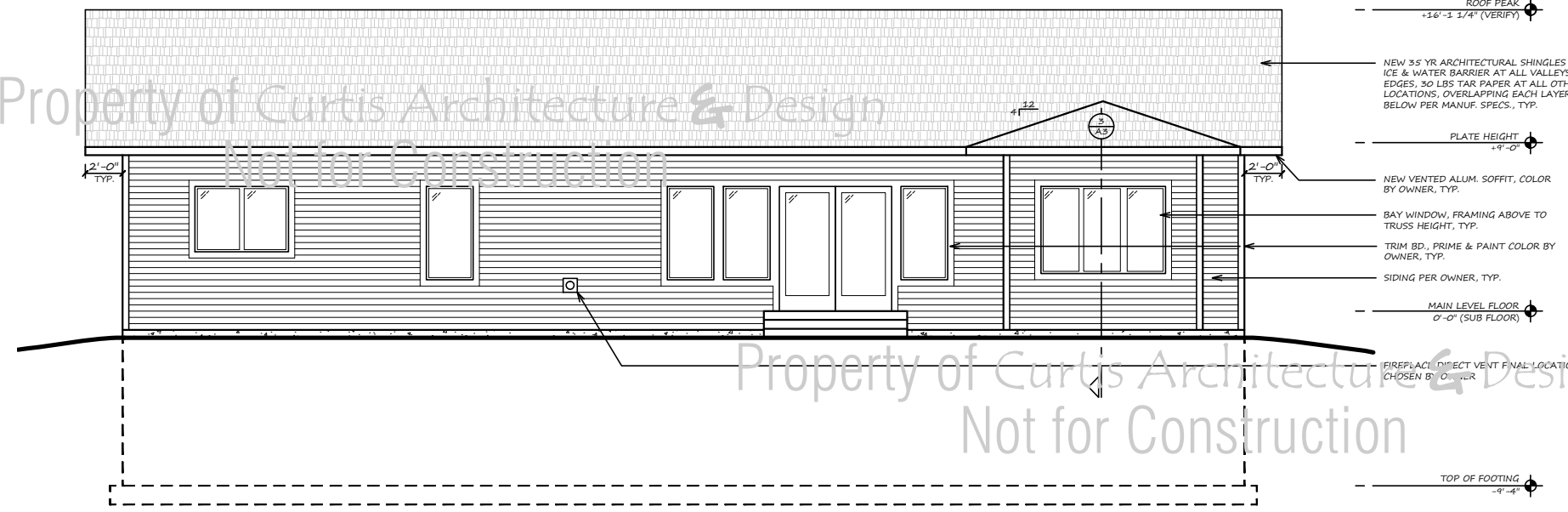


**WINDOW NOTES**

- VERIFY ALL WINDOWS AND OPENINGS.
- VERIFY ALL WINDOWS AND FINISHES W/ EXISTING AND ARCHITECT.

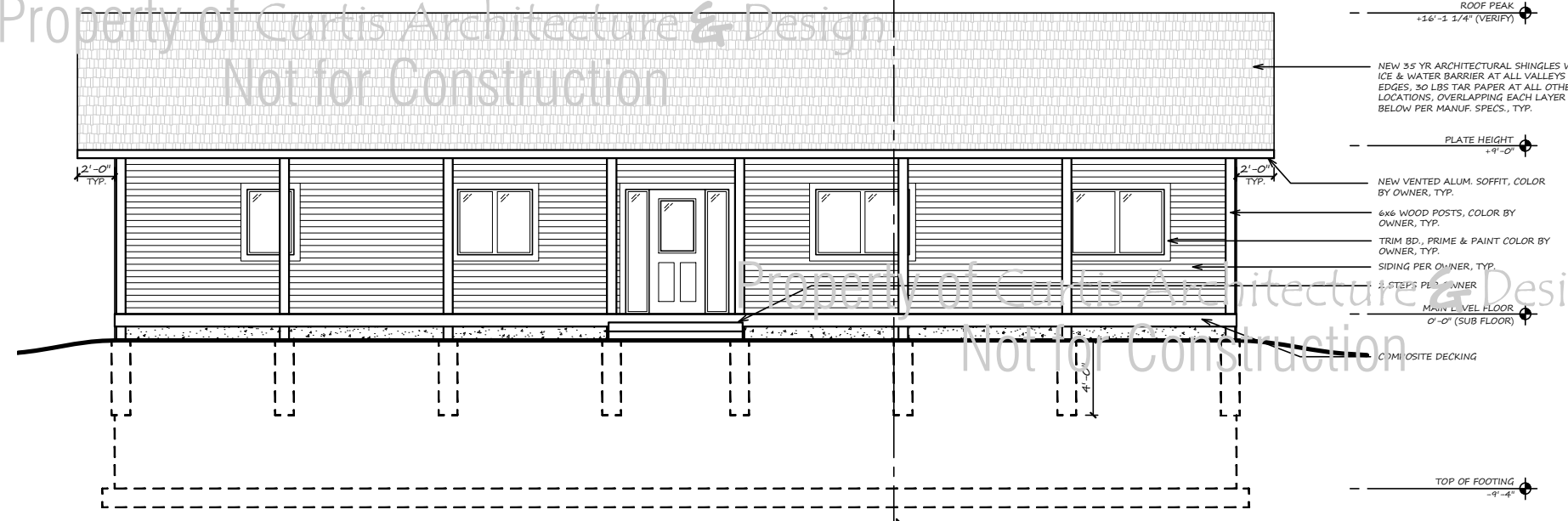
**REMARKS**

- MARVIN ALUMINUM CLAD CASEMENT, LOW-E, INSULATED, INTERIOR FINISH, EXTERIOR COLOR, SASH LIFT & LOCK COLOR PER OWNER



**EXTERIOR ELEVATION**

1/4" = 1'-0"



**EXTERIOR ELEVATION**

1/4" = 1'-0"

- ROOF PEAK +16'-1 1/4" (VERIFY)
- NEW 35 YR ARCHITECTURAL SHINGLES W/ ICE & WATER BARRIER AT ALL VALLEYS & EDGES, 30 LBS TAR PAPER AT ALL OTHER LOCATIONS, OVERLAPPING EACH LAYER BELOW PER MANUF. SPECS, TYP.
- PLATE HEIGHT +9'-0"
- NEW VENTED ALUM. SOFFIT, COLOR BY OWNER, TYP.
- BAY WINDOW, FRAMING ABOVE TO TRUSS HEIGHT, TYP.
- TRIM BD., PRIME & PAINT COLOR BY OWNER, TYP.
- SIDING PER OWNER, TYP.
- MAIN LEVEL FLOOR 0'-0" (SUB FLOOR)
- FIREPLACE DIRECT VENT FINAL LOCATION CHOSEN BY OWNER
- TOP OF FOOTING -9'-4"

- ROOF PEAK +16'-1 1/4" (VERIFY)
- NEW 35 YR ARCHITECTURAL SHINGLES W/ ICE & WATER BARRIER AT ALL VALLEYS & EDGES, 30 LBS TAR PAPER AT ALL OTHER LOCATIONS, OVERLAPPING EACH LAYER BELOW PER MANUF. SPECS, TYP.
- PLATE HEIGHT +9'-0"
- NEW VENTED ALUM. SOFFIT, COLOR BY OWNER, TYP.
- 6x6 WOOD POSTS, COLOR BY OWNER, TYP.
- TRIM BD., PRIME & PAINT COLOR BY OWNER, TYP.
- SIDING PER OWNER, TYP.
- 3 STEPS PER OWNER
- MAIN LEVEL FLOOR 0'-0" (SUB FLOOR)
- COMPOSITE DECKING
- TOP OF FOOTING -9'-4"

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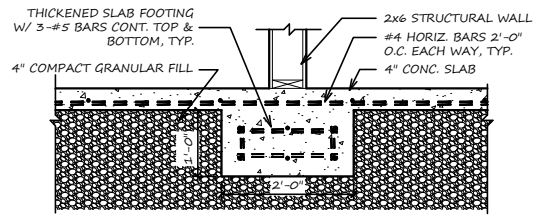
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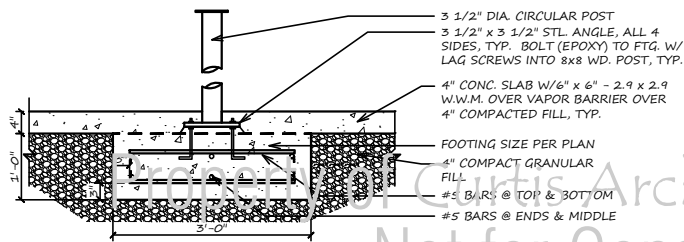
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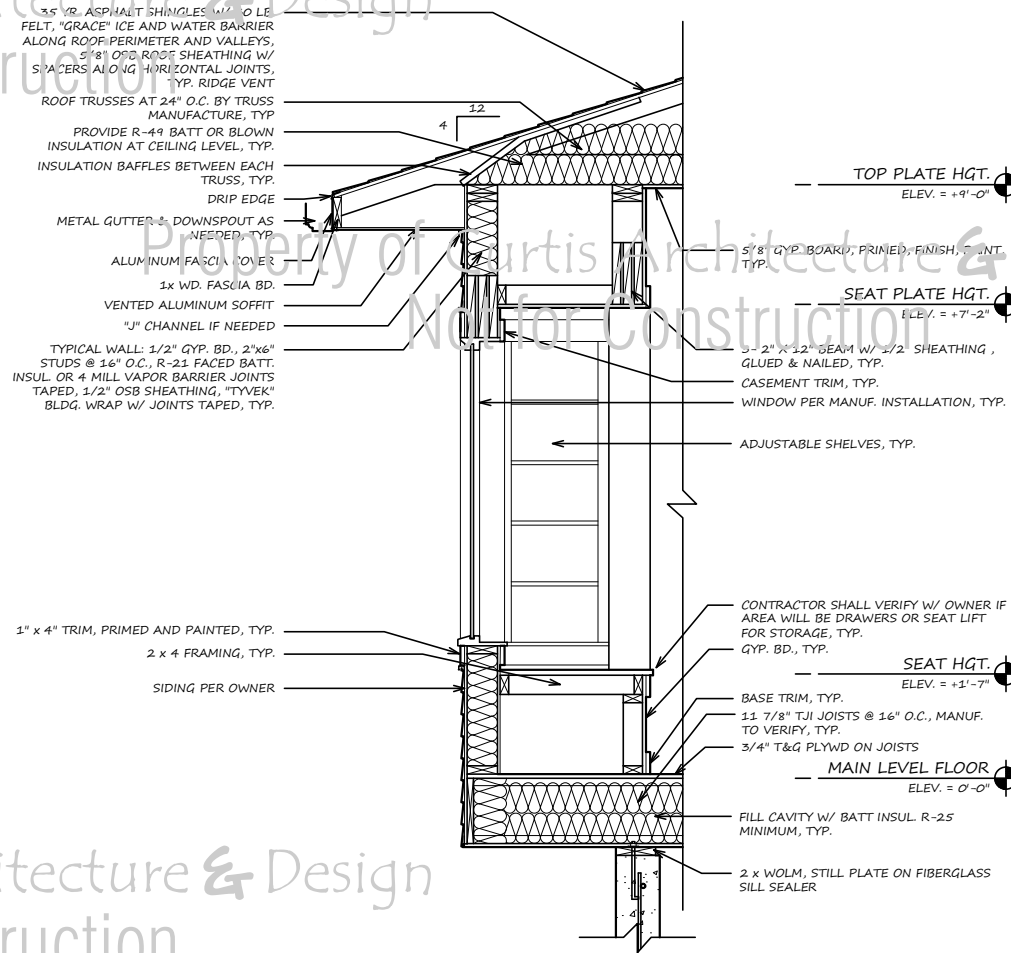
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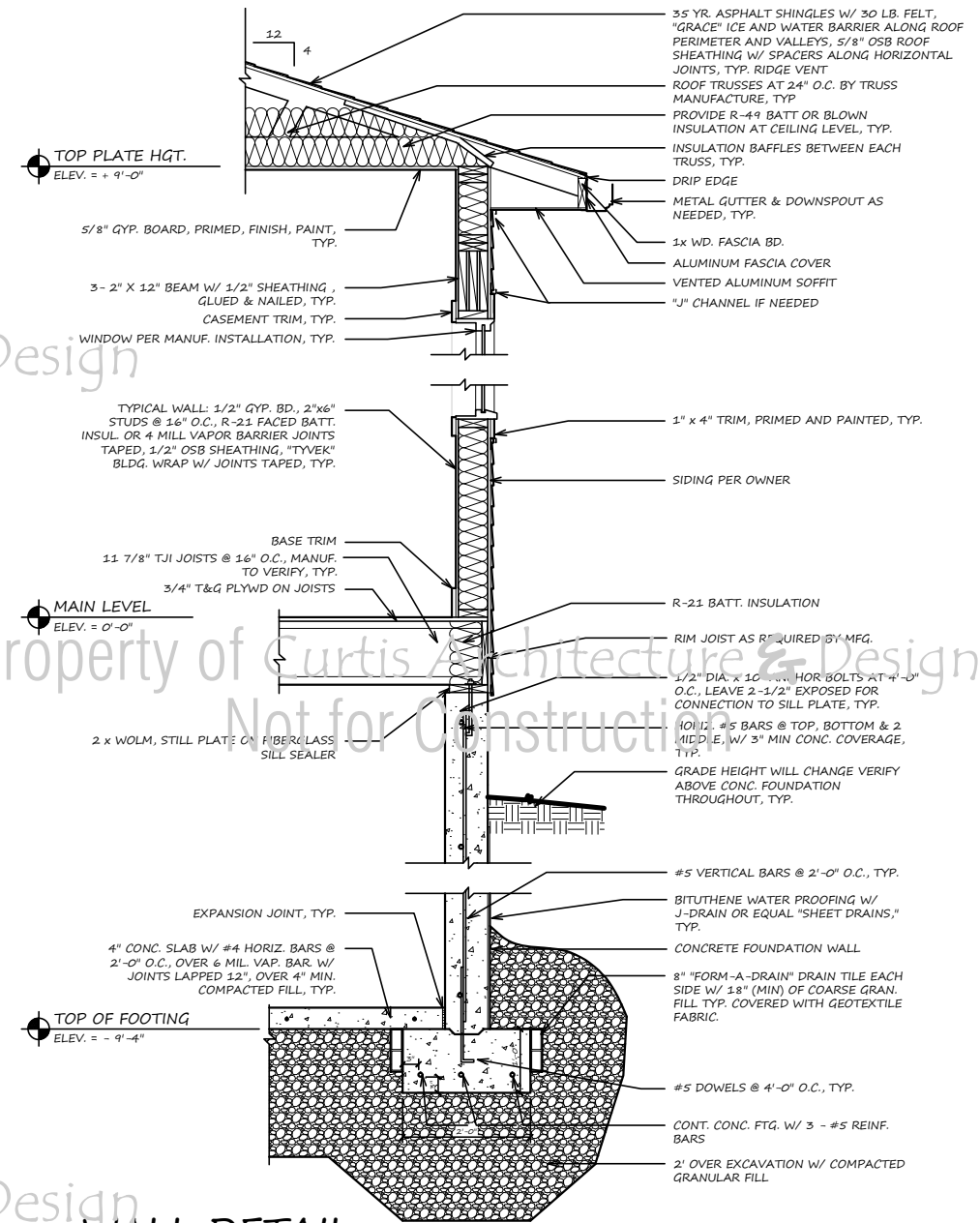
1 STRUCTURAL WALL DETAIL  
3/4" = 1'-0"



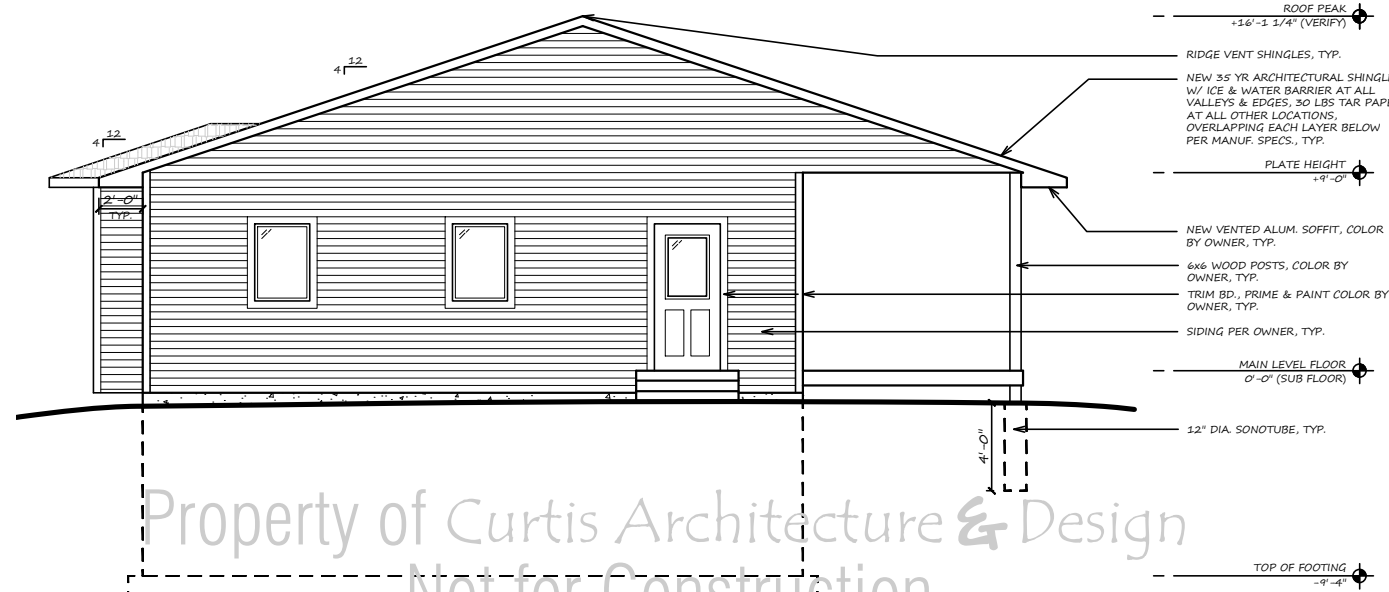
2 COLUMN DETAIL  
3/4" = 1'-0"



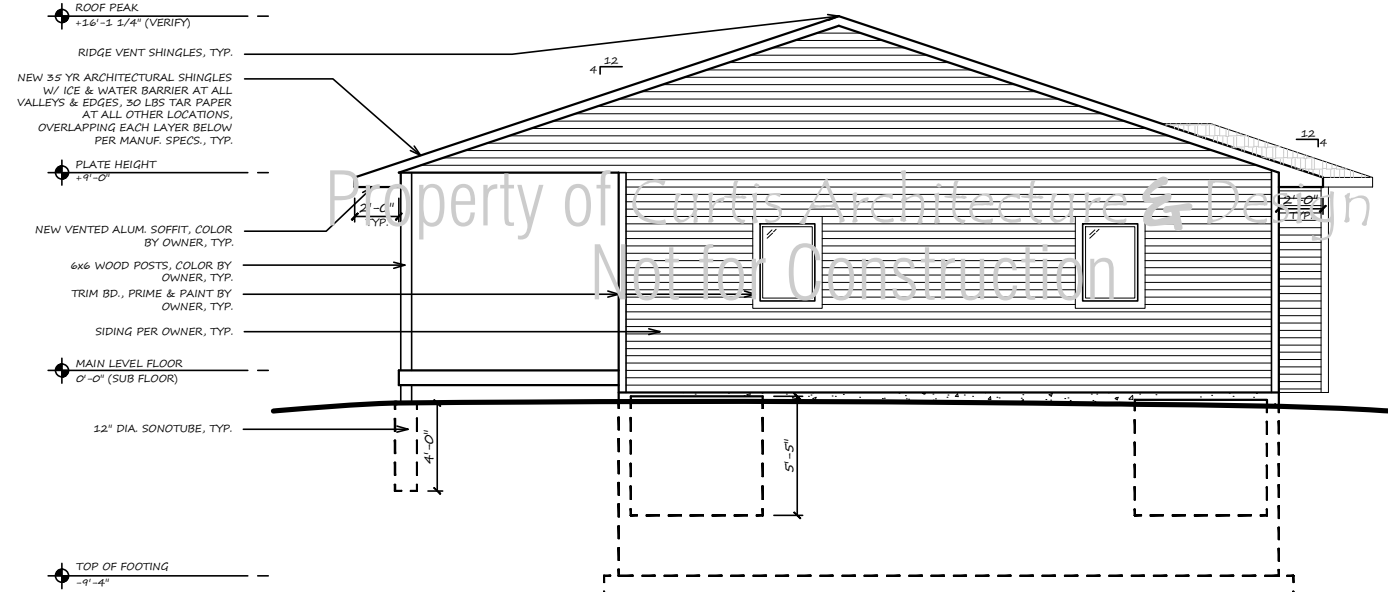
3 WINDOW SEAT DETAIL  
3/4" = 1'-0"



4 WALL DETAIL  
3/4" = 1'-0"



EXTERIOR ELEVATION  
1/4" = 1'-0"



EXTERIOR ELEVATION  
1/4" = 1'-0"

BASIC SAMPLE  
SAMPLE, IOWA

EXT. ELEV./  
DETAILS:  
BY DRAWING  
JOB NUMBER:  
0000  
DATE:  
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REVISIONS:  
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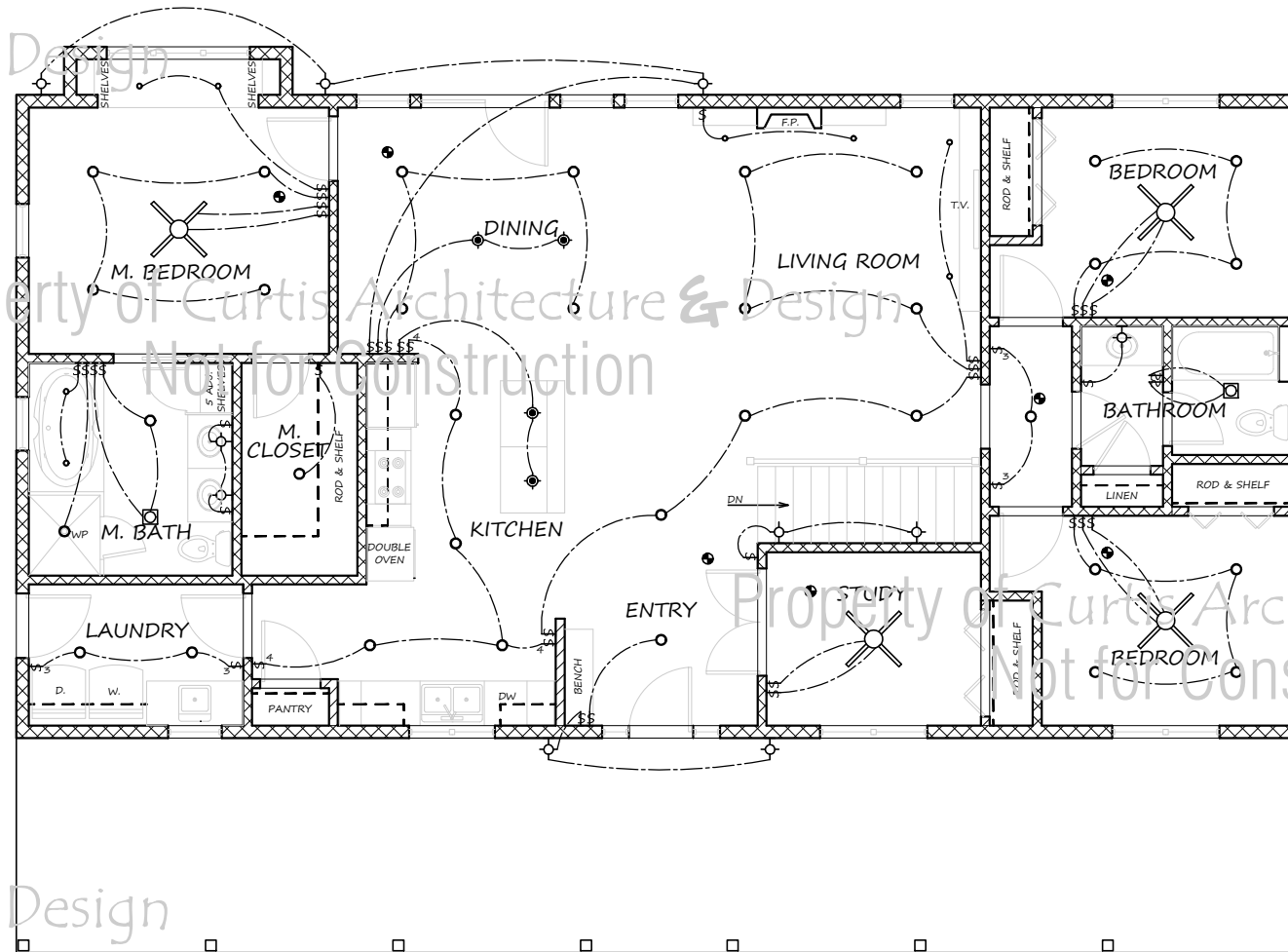
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**ELECTRICAL  
FIXTURE SCHEDULE**

	CEILING FAN / LIGHT COMBINATION		3" RECESSED CAN
	EXHAUST FAN & LIGHT		W/P WATER PROOF RECESSED CAN
	WALL SCONCE		SMOKE ALARM W/ CARBON MONOXIDE SENSOR
	6" RECESSED CAN		SWITCH
			3-WAY SWITCH
			4-WAY SWITCH
			CEILING FIXTURE - PENDANT SMALL

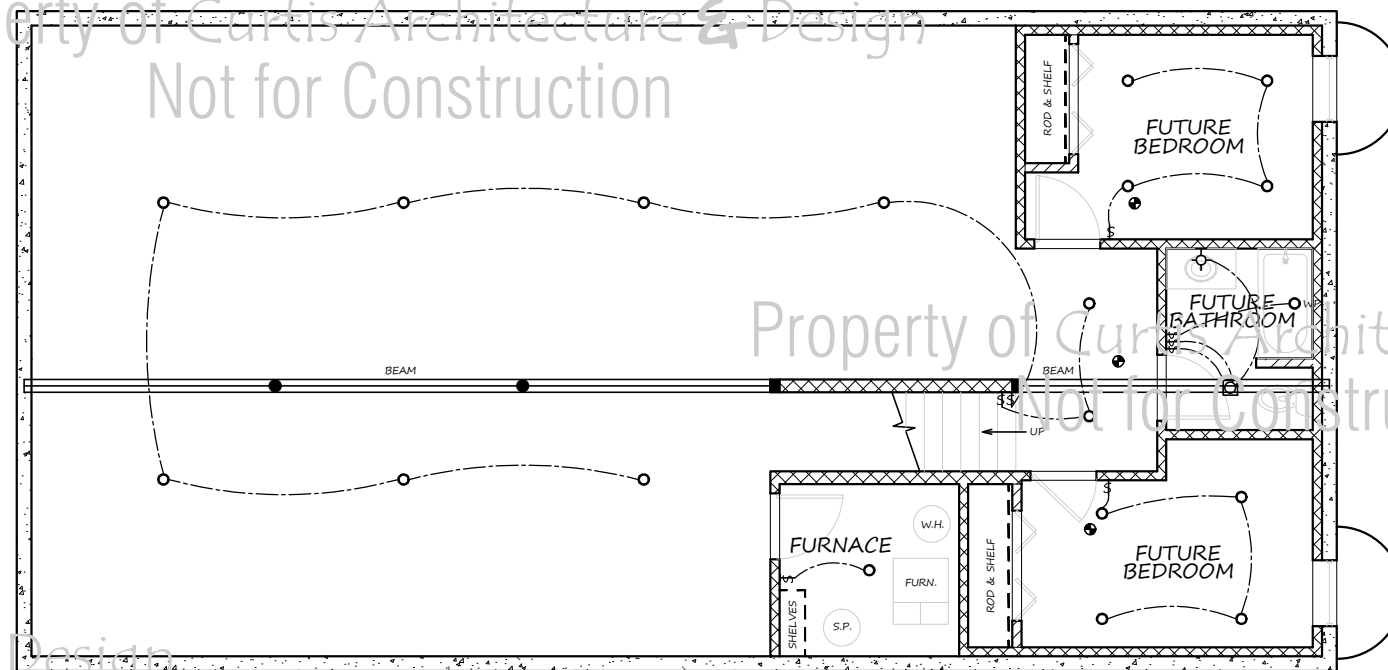
**ELECTRICAL NOTES**

- PROVIDE ALLOWANCE OF \$4,000 FOR SPECIALTY LIGHTING. SPECIALTY LIGHTING CONSISTS OF CEILING FANS, PENDANTS, WALL MOUNTED FIXTURES, AND TRACK LIGHTING CHOSEN BY OWNER. ALL OTHER LIGHTING SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR.
- ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL FAN / LIGHT COMBINATIONS IN BATHROOMS.
- ELECTRICAL CONTRACTOR TO PROVIDE ALL RECESSED CANS WITH A REFLECTANCE BAFFLE (SILVER) AND WHITE TRIM.
- ELECTRICAL CONTRACTOR TO PROVIDE ALL PORCELAIN LIGHT FIXTURES.
- ELECTRICAL CONTRACTOR TO PROVIDE SWITCHES, OUTLETS AND PLATES, STYLE & COLOR CHOSEN BY OWNER.
- ELECTRICAL CONTRACTOR SHALL PROVIDE OUTLET AND SWITCH TO GARBAGE DISPOSAL IN KITCHEN.
- ELECTRICAL CONTRACTOR SHALL PROVIDE "CAT 5" CABLE FOR ALL TELEPHONE AND DATA OUTLETS.
- ELECTRICAL CONTRACTOR SHALL INSTALL HEADS ON ALL CABLE TELEPHONE AND DATA OUTLETS.
- THE MAIN IN/B FOR ALL "CAT 5" CABLE SHALL BE LOCATED IN THE MECHANICAL ROOM.
- ELECTRICAL CONTRACTOR TO DETERMINE PANEL SIZE, MIN. 120 AMP.
- ELECTRICAL CONTRACTOR TO RUN ALL DATA AND TELEPHONE LINES.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL DESIGN AND CODE COMPLIANCE.
- LABEL PANEL "CLEARLY" WRITTEN.
- ELECTRICAL CONTRACTOR TO REFER TO FINISH PLAN FOR FINISHES.
- PROVIDE LED LAMPS FOR EACH FIXTURE.
- ELECTRICAL CONTRACTOR SHALL VERIFY THE REQUIRED POWER SOURCE FOR THE KITCHEN VENT HOOD & MICROWAVE COMBO (HARDWIRE OR PLUG-IN).
- ELECTRICAL CONTRACTOR TO PROVIDE ALL BULBS DURING AND UP TO FINAL COMPLETION.
- FIXTURES SHOWN IN BASEMENT (LOWER LEVEL PLANS) ARE FOR FUTURE BUILD OUT.
- ELECTRICAL CONTRACTOR SHALL INSTALL THE LIGHTS & POWER IN MECHANICAL ROOM ONLY.
- ELECTRICAL CONTRACTOR SHALL PROVIDE DAISY CHAIN LIGHTS IN THE BASEMENT.



**MAIN LEVEL REFLECTED CEILING PLAN**

1/4" = 1'-0"



**LOWER LEVEL REFLECTED CEILING PLAN**

1/4" = 1'-0"

Property of Curtis Architecture & Design  
Not for Construction

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Not for Construction










**BASIC SAMPLE**

SAMPLE, IOWA

REFL. CLG/  
PLANS :  
1/4" = 1'-0"  
JOB NUMBER :  
0000  
DATE :  
000.00.0000  
REVISIONS :  
PDF

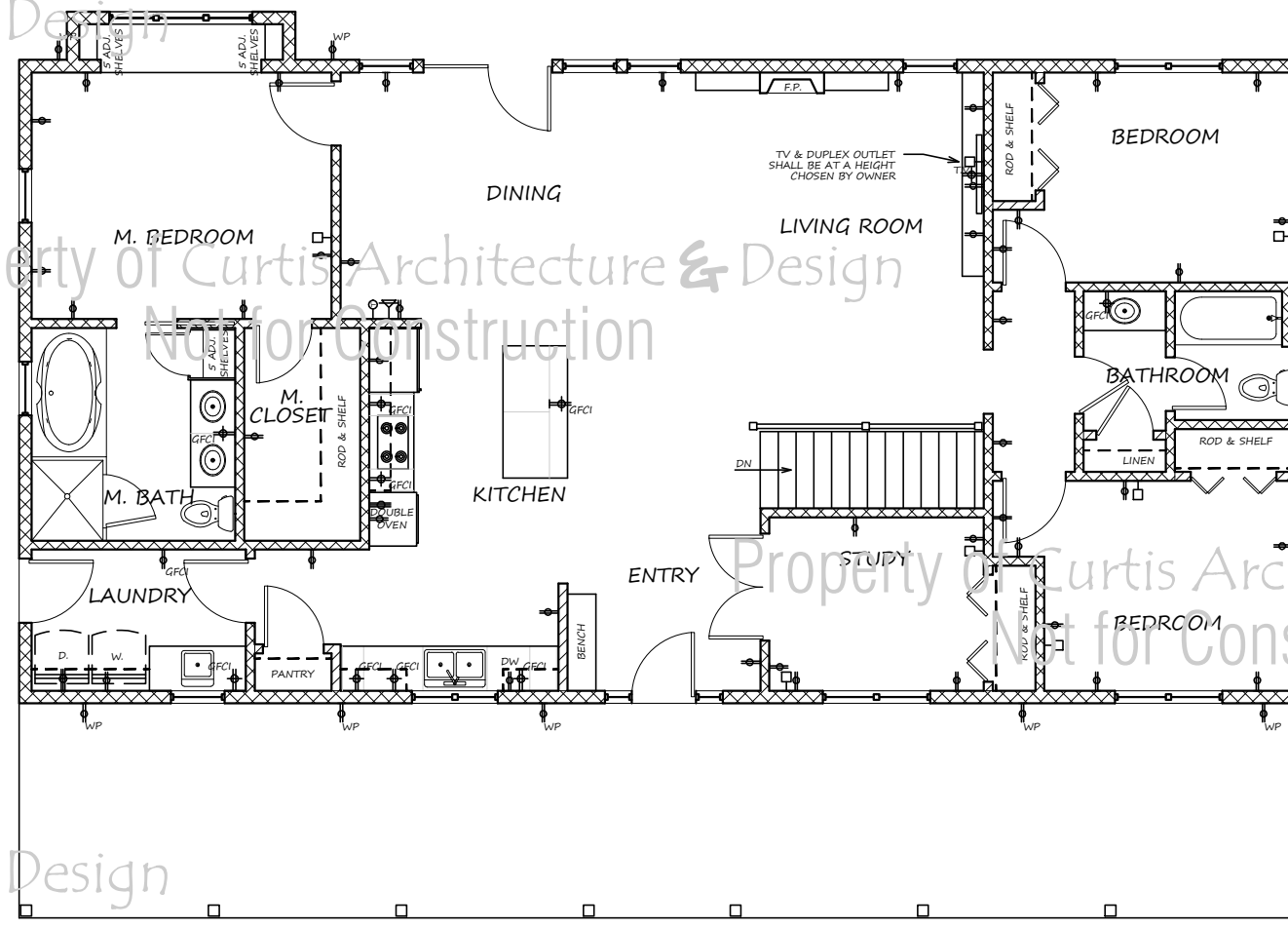
Property of Curtis Architecture & Design  
Not for Construction

**ELECTRICAL  
POWER SCHEDULE**

	120V DUPLEX CONVENIENCE OUTLET		TELEVISION AND CAT 5 (DATA) ABOVE COUNTER OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER		THERMOSTAT
	WATERPROOF DUPLEX OUTLET		ELECTRICAL PANEL
	ABOVE COUNTER GROUND FAULT CIRCUIT INTERRUPTER OUTLET		TELEPHONE & DATA ABOVE COUNTER
	220 OUTLET		

**ELECTRICAL NOTES**

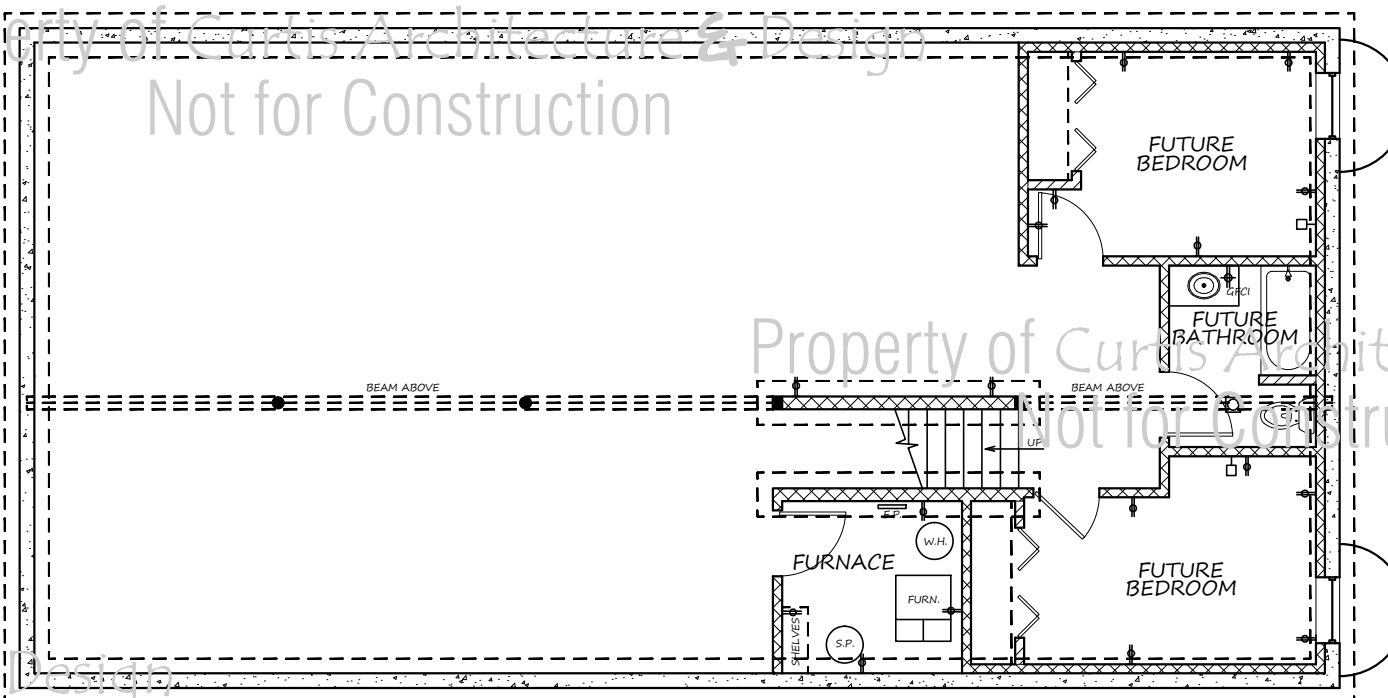
- PROVIDE ALLOWANCE OF \$4,000 FOR SPECIALTY LIGHTING. SPECIALTY LIGHTING CONSISTS OF CEILING FANS, PENDANTS, WALL MOUNTED FIXTURES, AND TRACK LIGHTING CHOSEN BY OWNER. ALL OTHER LIGHTING SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR.
- ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL ALL FAN / LIGHT COMBINATIONS IN BATHROOMS.
- ELECTRICAL CONTRACTOR TO PROVIDE ALL RECESSED CANS WITH A REFLECTANCE BAFFLE (SILVER) AND WHITE TRIM.
- ELECTRICAL CONTRACTOR TO PROVIDE ALL PORCELAIN LIGHT FIXTURES.
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**LOWER LEVEL POWER PLAN**

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**BASIC SAMPLE**  
SAMPLE, IOWA

POWER PLANS :  
1/4" = 1'-0"  
JOB NUMBER :  
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